

**OCALA HISTORIC PRESERVATION
ADVISORY BOARD MEETING**

**City Hall (2nd Floor)
City Council Chambers
110 SE Watula Avenue**

Thursday, February 3, 2021

4:00 PM

- 1). Call to Order and Roll Call
- 2). Public Meeting Notice Acknowledgement
- 3). Review of 11/4/21; 12/2/21 & 1/6/22 Meeting Minutes
- 4). Certificates of Appropriateness
(PLEASE NOTE: C.A.'s will be heard in the order in which they appear. If the applicant is not present when called, the C.A. will not be heard until the next monthly meeting.)
 - a. Case File #23; COA20-0045-Amendment – 726 SE 3rd Street, New Garage with rear yard setback variance.
 - b. Case File #157; COA22-44655 – 701 SE Sanchez Avenue – Install pool in rear yard.
- 5). Affirmative Maintenance
- 6). Old Business
- 7). New Business
 - a. Discussion of Historic Preservation Material on City Website
 - b. Discussion of giving recognition to Ocala architect Hal Reid
- 8). Adjournment

**As a courtesy to all, PLEASE be on time.
The meeting should start promptly at 4:00 pm**



City of Ocala Growth Management Dept
201 SE 3rd Street
Ocala, FL 34471

DATE: February 3, 2022

TO: Ocala Historic Preservation Advisory Board Members

FROM: Gus Gianikas, AICP

RE: Case File # 23; COA20 – 0045 Amendment

Property Address: 726 SE 3rd Street **Site Name:** Mary W. Phillips House

Property Owner: Ladden Herrmann

Property Information:

Year Built: 1895 Building Style: Colonial Victorian

Existing Use: Single Family Zoning: R-3 Multiple family

Contributing: **YES**

Proposed Alteration:

1. Construct new 2- story garage in rear yard – 14’6”wide x 46’10’ deep, and 24’ in height as per plans attached. Materials to match house. Roof architectural shingle. Wood lap siding.
2. Request rear yard setback variance from 25’ to 3’.
Sec. 122-254(2) allows accessory buildings to be placed within 3’ of the rear yard but limits their height to 18’. Since the proposed garage height is over 18’, the requirements of Sec. 122-286 apply instead. Sec. 122-286, requires a rear yard setback of 25’ in R-3 zoning district.

Previous COA

At its meeting on December 3, 2020, OHPAB approved CA request as follows.

1. Construct new 2- story garage in rear yard - 20’wide x 30’ deep, and 18’ in height as per plans attached. Materials to match house. Roof architectural shingle. Wood lap siding.
2. The Board recommended the approval of a variance to the side yard setback for the garage from 8’ to 5’ to the Board of Adjustment.

Applicable Guidelines

Sec. 94-82 (g) (1) – Exterior alterations shall not diminish the architectural quality or historic character of the building or the building site.

Site Development - Sec. 94-82 (g) (4) - Landscaping, signs, parking and site development should be sensitive to the individual building and should be visually compatible with the buildings and environment with which they are visually related.

Findings Test

The proposed additions / alterations need to meet the above guidelines in order to be deemed appropriate. In general, that would mean:

- Is it compatible in terms of scale, design, and materials?
- Does it destroy, damage, or obscure the historic features of building?
- Is it located in rear yard or inconspicuous area?

Attachments:

Application Form with building and site plans

Illustration of garage

FMSF



Photo 1: Photo of front of SE 726 SE 3rd Street. Driveway will be install on left side of house.



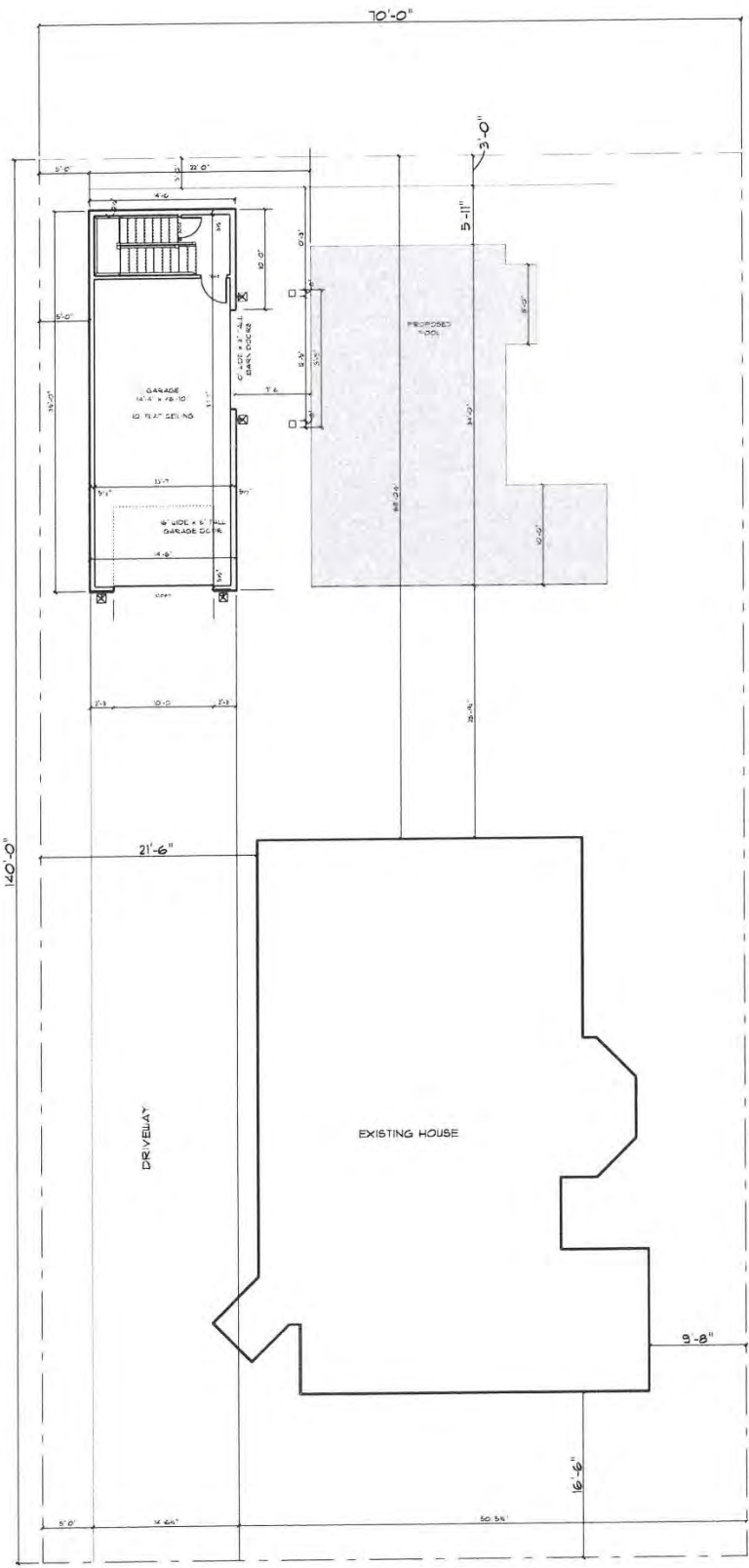
Photo 2: Location of proposed new driveway



Photo 3: View of rear yard where garage is proposed. Fence ends at SE corner of property.



Photo 4: 3D rendering of proposed garage



SITE PLAN PROPOSED
 SCALE: 1/8" = 1'-0"

CA. 23 retain activation

✓ 12/88 (old parcel #)
new parcel # 7189

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DS-HSP-3AAA Rev. 3-79

FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM 802 = =
1009 = =
2820-029-004
820 = =
905 = =
813 = =
868 = =
808 = =

Site Name Phillips, Mary W. House 830 = = Site No. 69-51813
Address of Site: 726 S.E. 3rd St. Survey Date 1981
Instruction for locating Fourth house east of S.E. Sanchez Ave. on the south side
of S.E. 3rd St.
Location: Caldwells AD Ocala Com 210 Ft E & 70 Ft N of SW Cor Lot 29
County: Marion - Thence E 70 Ft N 140 Ft W 70 Ft S 140 Ft
Owner of Site: Name: Hunt, Joyce J
Address: 726 SE 3rd St.
Ocala, FL 32670
Type of Ownership Private 848 = = Recording Date _____ 832 = =

Recorder:
Name & Title: Withlacoochee Regional Planning Council, Joyce Cusick, Assoc.
Address: 1241 S.W. 10th St. Planner
Ocala, FL 32670

Condition of Site: Integrity of Site: Original Use Residence 838 = =
Check One: Check One or More
 Excellent 863 = = Altered 858 = =
 Good 863 = = Unaltered 858 = =
 Fair 863 = = Original Site 858 = =
 Deteriorated 863 = = Restored () (Date:) 858 = =
 Moved () (Date:) 858 = =
Present Use Residence 850 = =
Dates: Beginning CA: 1895 844 = =
Culture/Phase American 840 = =
Period _____ 845 = =

NR Classification Category: _____ 916 = =

Threats to Site:
Check One or More
 Zoning (X) 878 = = Transportation (X) 878 = =
 Development (X) 878 = = Fill (X) 878 = =
 Deterioration (X) 878 = = Dredge (X) 878 = =
 Borrowing (X) 878 = =
 Other (See Remarks Below): _____ 878 = =

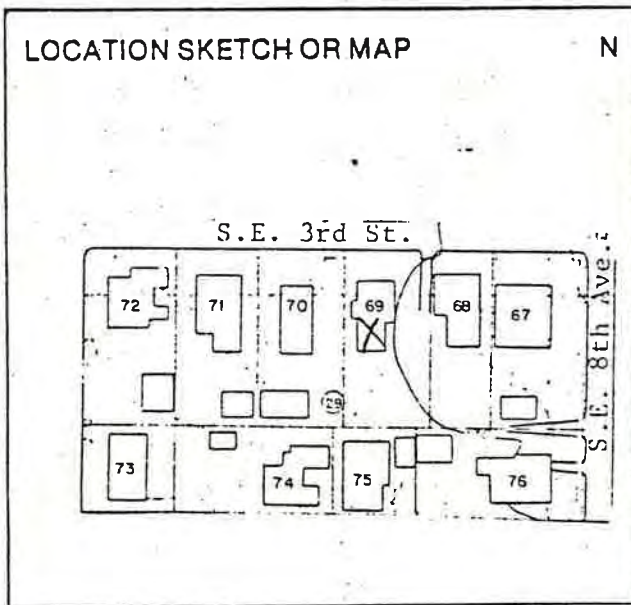
Areas of Significance: Architecture 910 = =

Significance:
An example of a Victorian frame vernacular carpenter style house exhibiting Gothic (details) architectural influences. The house is in scale and character with its surroundings, a residential Victorian neighborhood which has evolved from the 1880's through the early 1900's.

911 = =

ARCHITECT _____ 872 ==
 BUILDER _____ 874 ==
 STYLE AND/OR PERIOD frame vernacular carpenter style Gothic infl. 964 ==
 PLAN TYPE central 966 ==
 EXTERIOR FABRIC(S) shiplap 854 ==
 STRUCTURAL SYSTEM(S) frame 856 ==
 PORCHES front
 Balcony 2nd story - shed roof 942 ==
 FOUNDATION: brick pier 942 ==
 ROOF TYPE: gable 942 ==
 SECONDARY ROOF STRUCTURE(S): shed over porch/modified hip over back 942 ==
 CHIMNEY LOCATION: east side interior bay 942 ==
 WINDOW TYPE: double hung 942 ==
 CHIMNEY: brick 882 ==
 ROOF SURFACING: asbestos shingle 882 ==
 ORNAMENT EXTERIOR: fish scale shingle, rafter brackets, ginger- 882 ==
 NO. OF CHIMNEYS 1 952 == NO. OF STORIES 2 bread 950 ==
 NO. OF DORMERS double bay element west face 954 ==
 Map Reference (Incl. scale & date) USGS Ocala West - #447 - 7.5 Min. - 1964
 _____ 809 ==
 Latitude and Longitude: _____ 800 ==

 Site Size (Approx. Acreage of Property): _____ 833 ==



Photographic Records Numbers _____
 81N70#8 (1920)
 84N 312 #22 (34)
 Contact Print





Application for a Certificate of Appropriateness (C.A.)

C.A. File # 23
COA 20 - 0045 AMENDMENT
Meeting Date: FEB. 3, 2022

Ocala Historic Preservation Advisory Board (OHPAB)

c/o City of Ocala Growth Management Dept
201 SE 3rd Street (2nd floor), Ocala, FL 34471
Phone: (352) 629-8311 FAX: (352) 629-8242

C.A. Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit C.A. application and required material to Planning staff at least 3 weeks (21 days) prior to OHPAB meeting. **Meetings are held the 1st Thursday of each month.**
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. **Meeting Location: City Council Chambers, 2nd floor of City Hall Time: 4:00 PM**
5. If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

Parcel Number: 2820-029 Property Address: 726 SE 3rd St Ocala FL 34471
-004

Owner's name, address, phone #, email: Jadden Herrmann
726 SE 3rd St Ocala FL 352-216-8635 JaddenHerrmann@gmail.com

Name, address, phone #, email of meeting representative: Jadden Herrmann 726 SE 3rd St Ocala FL 34471
JaddenHerrmann@gmail.com

Project Type: Addition Alteration Repair New Construction Fence Reroof
 Relocation Site Work Other

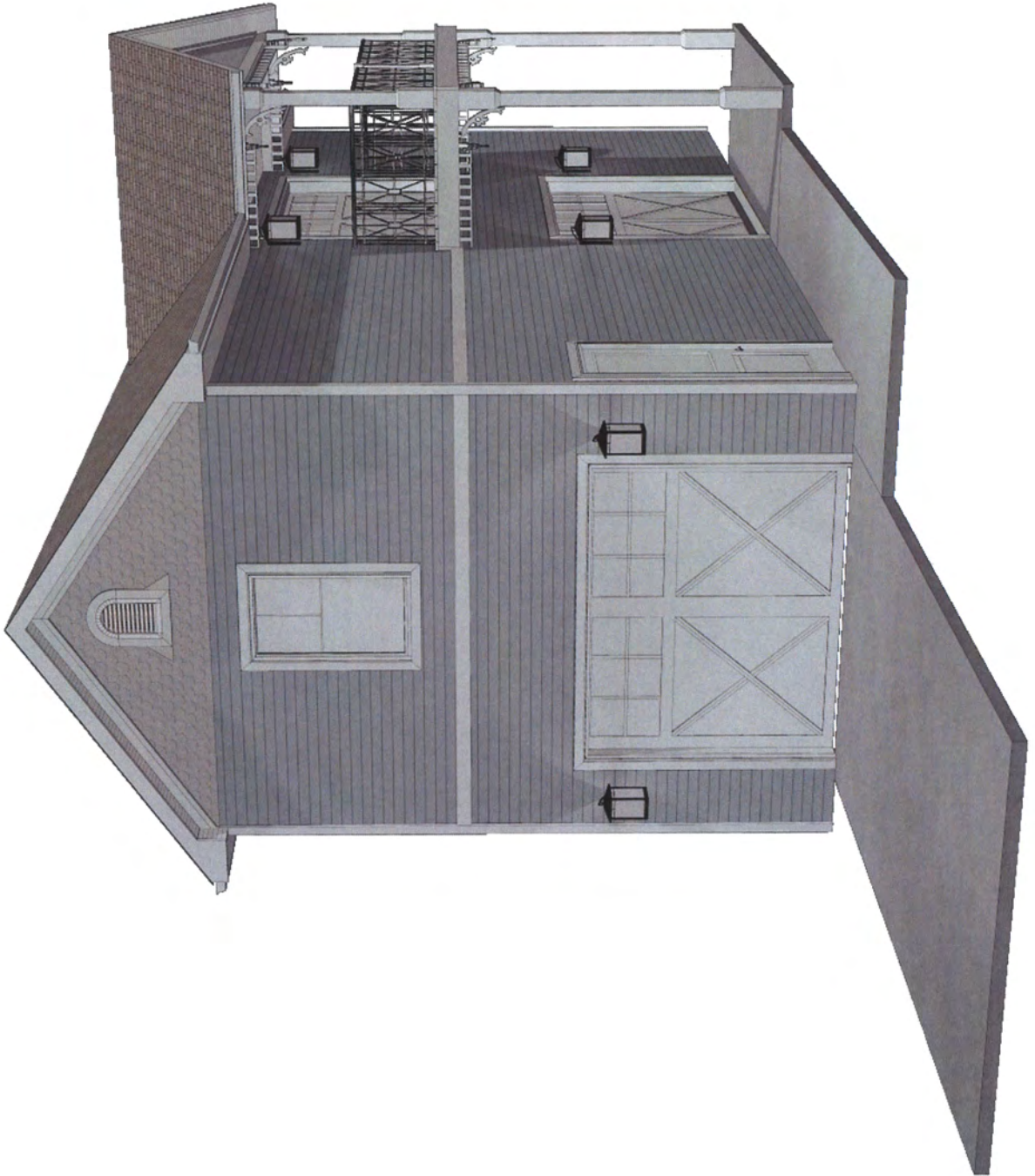
Describe in a list the specific changes you are requesting to do to your property. Include the type(s) of material(s) to be used as well as dimensions. Addition of 2 story garage
I need for approval on height REAR YARD SETBACK
VARIANCE

Materials to include with C.A. Application submission:

1. Completed and signed application form.
2. One set of building plans for structural changes, including all four elevations, site plans, showing required setbacks, or landscape plans (if applicable). All plans must be drawn to scale and new material labeled. Plans sheets are to be no larger than 11" x 17".
3. Detailed drawings and specifications for all new materials-windows, doors, siding, roofing material.
4. Authorization letter for non-property owner representative at the meeting.
5. Copy of property deed or proof of ownership.
6. If work requiring a COA begins before approval, a \$100 fee is due.

[Signature]
Applicant's Signature

1-7-22
Date





SECTION LETTER

SCALE: 1/4" = 1'-0"
DRAWN BY: J. BLAND
DATE: Tuesday, August 31, 2021

THOMAS H. WITFORD ARCHITECT, P.A.
P.O. Box 144
Lakewood, FL 34460
(352) 476-1931
FILA: AA2000149

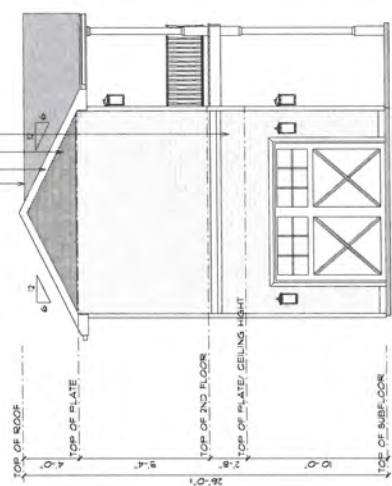
ADVANCED DRAFTING
DESIGN BY US. DESIGNED FOR YOU.
LADDEN HERRMANN
788 SE 38th ST
FL 32817

PAGE: 1/1

1/1

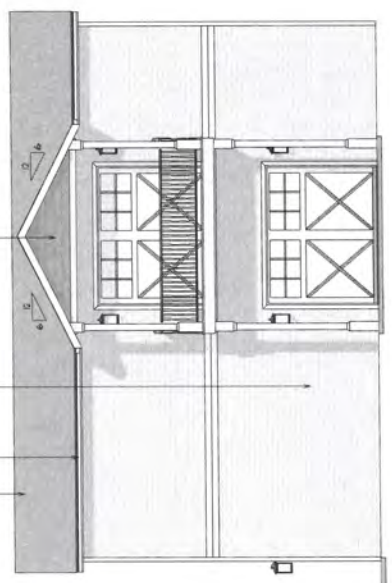
1/1

SHINGLE ROOF TO MATCH EXISTING HOUSE
EYES AND SOFFIT TO MATCH EXISTING HOUSE
SHAKE SHINGLES TO MATCH EXISTING HOUSE
WOOD SIDING TO MATCH EXISTING HOUSE



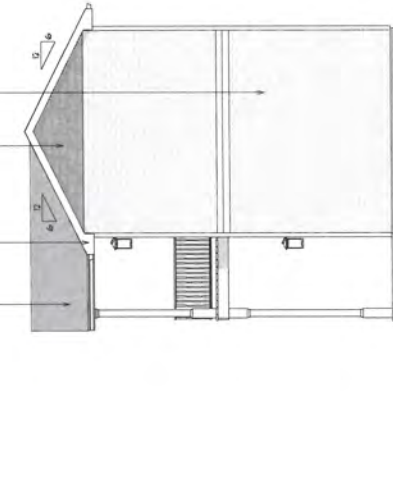
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SHINGLE ROOF TO MATCH EXISTING HOUSE
EYES AND SOFFIT TO MATCH EXISTING HOUSE
WOOD SIDING TO MATCH EXISTING HOUSE
SHAKE SHINGLES TO MATCH EXISTING HOUSE



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SHINGLE ROOF TO MATCH EXISTING HOUSE
EYES AND SOFFIT TO MATCH EXISTING HOUSE
SHAKE SHINGLES TO MATCH EXISTING HOUSE
WOOD SIDING TO MATCH EXISTING HOUSE

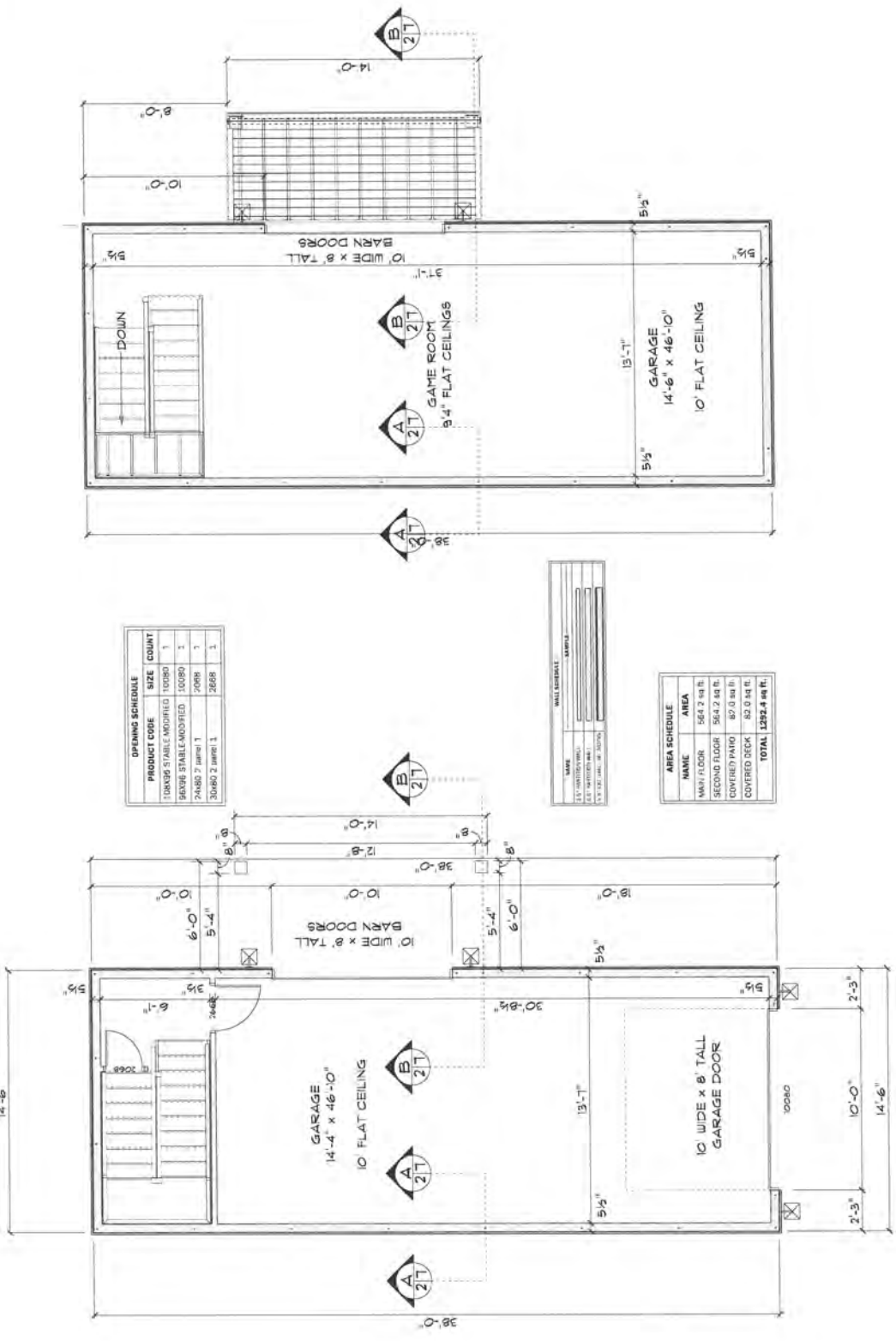


REAR ELEVATION
SCALE: 1/4" = 1'-0"

SHINGLE ROOF TO MATCH EXISTING HOUSE
EYES AND SOFFIT TO MATCH EXISTING HOUSE
WOOD SIDING TO MATCH EXISTING HOUSE



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



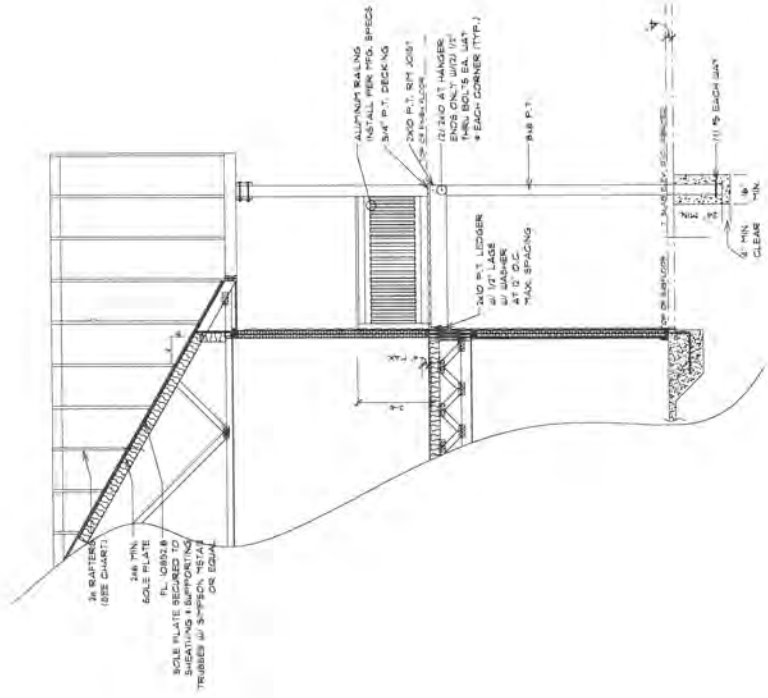
OPENING SCHEDULE			
PRODUCT CODE	SIZE	COUNT	
TRUSS STABLE (MODIFIED)	10080	1	
BEAM STABLE (MODIFIED)	10090	1	
2x8x6 2x10x10	2088	1	
30x60 2x10x10	2088	1	

WALL SCHEDULE	
NAME	LENGTH
1x4x8 INTERIOR WALL	10000
2x4x8 EXTERIOR WALL	10000
1x4x8 EXTERIOR WALL	10000
1x4x8 EXTERIOR WALL	10000

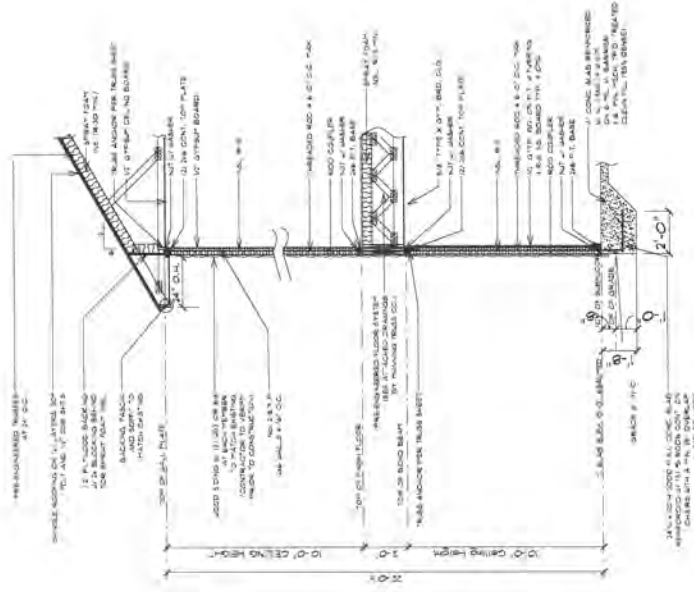
AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	564.2 sq ft.
SECOND FLOOR	564.2 sq ft.
COVERED PATIO	87.0 sq ft.
COVERED DECK	82.0 sq ft.
TOTAL	1297.4 sq ft.

SECOND FLOOR REV.2
 SCALE 3/8" = 1'-0"

MAIN FLOOR REV.2
 SCALE 3/8" = 1'-0"

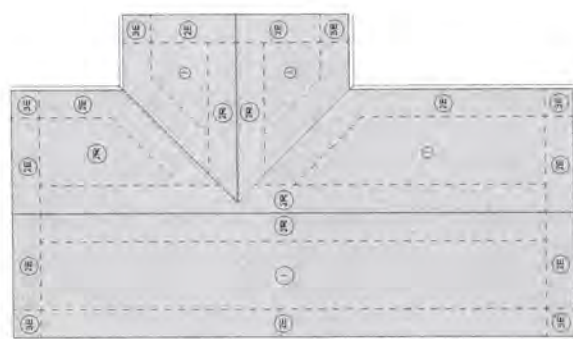


UPPER DECK CROSS SECTION
 SCALE: 3/8" = 1'-0"



FRAME OVER FRAME CROSS SECTION 202
 SCALE: 3/8" = 1'-0"

INSERT TRUSS MFG.
DRAWINGS HERE



ROOF PLAN
 SCALE: 1/4" = 1'-0"

ROOF SHEATHING NAILING ZONES
 SHEATHING SHALL BE FASTENED TO ROOF FRAMING WITH 8D FULL HEAD RING SHANK NAILS (NO SUBSTITUTIONS).

ZONE	1	2	3	DISTANCE "A"	DISTANCE "B"
1	6' 0" C. AT PANEL EDGES; 6' 0" C. IN FIELD			4' 8" EDGE & 5' IN FIELD	
2		4' 8" EDGE & 5' IN FIELD		4' 0" C.	
3			4' 0" C.	4 FT.	
					DISTANCE "B" - 8 FT.

NOTE: BUILDER MUST TRUSS MANUFACTURERS TO VERIFY SHEATHING MANUFACTURER'S RECOMMENDED TRUSS MANUFACTURER'S TRUSS TYPES AND DISTANCES AND TRUSS SPANS PRIOR TO TRUSS MANUFACTURING.

ROOF CRITERIA

- 3"X OVERHANGS (I.N.O.)
- TRUSS GUT FASCIA (I.N.O.)
- ROOF PITCH PER ELEVATION
- UNIFORM LOAD CALC. PER ASCE 16-13
- WIND LOAD PER ASCE 16-13
- SNOW LOAD PER ASCE 16-13
- SINGLE LOADING

VENTILATION CALCULATION

VENTED SOFFIT ONLY
 FORMULA: $8 \text{ SF} / 190 (\text{SQ. FT.}) \times 144$
 (70 CONVERT TO 8.1 INCHES) • NET 56.2 INCH
 / 22.6 (CONVERT TO LINEAL FEET)
 34.0 / 190 = 22.73 X 144 = 3273.6 SQ. INCHES •
 / 22.6 = 145.8 L.F. OF VENTILATION REQ'D
 TRUSS OR VENTED SOFFIT PROVIDED
 (PREVENTS CONDENSATION)

TRUSS NOTES:

- SIMPSON HEMBO OR EQ OR 102 X 144 X 144 (I.N.O.)
- SIMPSON HEMBO OR EQ TRIP # 8000 FRAME BRG LOCATIONS (I.N.O.)
- BUILDERS TO VERIFY X-BRACINGS @ HALF-WAY POINT OF COMMON TRUSS ROOF SECTIONS OF 40'-0" OR GREATER.
- BUILDER TO VERIFY FINAL TRUSS LAYOUT WITH SEALED/ENGINEERED DECORATIVE TRUSS MANUFACTURER AND MAINTAIN CERTIFIED COPY ON SITE PRIOR TO INSTALLATION.

PRE-ENGINEERED TRUSS PACKAGE
 BY: THANNING TRUSS - OCALA
 TRUSS MANUFACTURING (I.N.O.)
 IS HEREBY INCORPORATED ONTO
 THE CONSTRUCTION DOCUMENTS

NOTE: THIS TYPE V.A.B. DO NOT SCALE DRAWINGS.
 THE BUILDER IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS OF THESE PLANS PRIOR TO START OF CONSTRUCTION.

TRUSS LATERAL BRACING DETAIL
 1'-3"

TRUSS LATERAL BRACING DETAIL
 1'-3"

VALLEY FLASHING DETAIL
 1'-3"

TRUSS CROSS BRACING DETAIL
 1'-3"

CONVENTIONAL OVERHANG DETAIL
 1'-3"

MAXIMUM WALTER SPAN	15' 0" C.	24' 0" C.
SIZE	2x8	2x8
SIZE	18' 0"	17' 6"
SIZE	2x10	2x10
SIZE	18' 0"	13' 0"

NOTE: 1. WALTER SPAN ON WALLS OR SPAN ON ROOF SHALL BE VERIFIED BY THE BUILDER PRIOR TO TRUSS MANUFACTURING.
 2. THE BUILDER SHALL VERIFY THE WALTER SPAN ON WALLS OR ROOF PRIOR TO TRUSS MANUFACTURING.



Application for a Certificate of Appropriateness (C.A.)

C.A. File # 157
COA 22-44655
Meeting Date: FEBRUARY 3, 2022

Ocala Historic Preservation Advisory Board (OHPAB)

c/o City of Ocala Growth Management Dept
201 SE 3rd Street (2nd floor), Ocala, FL 34471
Phone: (352) 629-8311 FAX: (352) 629-8242

C.A. Application Procedure:

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3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meeting Location: City Council Chambers, 2nd floor of City Hall Time: 4:00 PM
5. If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

Parcel Number: 2820-032-007 Property Address: 701 SE Sanchez Avenue; Ocala, FL 34471

Owner's name, address, phone #, email: _____
Ken and Wendy Kebrdle; 352.342.5487; wendy@weargloves.org

Name, address, phone #, email of meeting representative: _____

Project Type: Addition Alteration Repair New Construction Fence Reroof
 Relocation Site Work Other

Describe in a list the specific changes you are requesting to do to your property. Include the type(s) of material(s) to be used as well as dimensions. _____

In-ground swimming pool; 15'x30' with an 8'x13' sunshelf and cage surround

Materials to include with C.A. Application submission:

1. Completed and signed application form.
2. One set of building plans for structural changes, including all four elevations, site plans, showing required setbacks, or landscape plans (if applicable). All plans must be drawn to scale and new material labeled. Plans sheets are to be no larger than 11" x 17".
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4. Authorization letter for non-property owner representative at the meeting.
5. Copy of property deed or proof of ownership.
6. If work requiring a COA begins before approval, a \$100 fee is due.

Wendy Kebrdle

1/13/2022

Applicant's Signature

Date



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Wendy Kebrdle

1/13/2022

Applicant's Signature

Date

PLAT OF BOUNDARY SURVEY for: KENNETH & WENDY KEBRDLE
 DESCRIPTION: A PORTION OF LOT 32 & 33
CALDWELL'S ADDITION TO OCALA
 RECORDED IN PLAT BOOK E PAGE(S) 4 PUBLIC RECORDS OF MARION COUNTY, FLORIDA

DESCRIPTION:

COMMENCING AT A POINT 173 FEET NORTH OF THE SW CORNER OF LOT 33 OF CALDWELL'S ADDITION TO OCALA, FLORIDA, THENCE NORTH 89 1/3 FEET, THENCE EAST 200 FEET, THENCE SOUTH 89 1/3 FEET, THENCE WEST 200 FEET TO THE POINT OF BEGINNING.

PARCEL # 2820-032-006

NOTE: THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTIES NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM DEWBERRY (BOWYER-SINGLE CO.)

FINANCING BY:



TITLE SERVICES BY:



TITLE INSURANCE BY:



NOTES:

- BEARINGS ARE BASED ON THE EAST RIGHT OF WAY LINE OF SANCHEZ AVENUE AS BEING NORTH, PER PLAT BOOK E, PAGE(S) 4, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.
- UNDERGROUND FOUNDATIONS AND UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAYS, EASEMENTS, OWNERSHIP, ADJOINERS OR OTHER INSTRUMENTS OF RECORD.
- THE ACCURACY OF THE SURVEY MEASUREMENTS USED FOR THIS SURVEY MEETS OR EXCEEDS THE EXPECTED USE OF THE PROPERTY DESCRIBED HEREON (SUBURBAN), 1 FOOT IN 7,500 FEET.
- THIS LOT SERVED BY CENTRAL WATER & SEWER.

ABBREVIATIONS & LEGEND:

— LINE BREAK	— CENTERLINE	□ FOUND 4" x 4" CONCRETE MONUMENT (NO ID)	⊠ WATER METER
IRC IRON ROD WITH CAP	P.C. POINT OF CURVATURE	● FOUND OR - 4" x 4" CONCRETE OVERPOUR	⊡ ELECTRIC BOX
R/W RIGHT-OF-WAY	P.I. POINT OF INTERSECTION	⊙ SET 5/8" IRON ROD & CAP (LB 8011)	⊞ CABLE TELEVISION RISER
CONC. CONCRETE	L ARC LENGTH	(D) DEED	⊟ TELEPHONE RISER
LS LAND SURVEYOR	R RADIUS	(M) MEASURED	⊝ SANITARY MANHOLE
LB LICENSED BUSINESS	Δ DELTA (CENTRAL ANGLE)	(O) OCCUPIED	⊞ AIR CONDITIONER PAD
NO. NUMBER	CB CHORD BEARING		
	CH CHORD		

FLOOD CERTIFICATION:

BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12085C02, EFFECTIVE DATE AUGUST 30, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AND DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD AREA AFFECTED BY LETTER OF MAP CHANGE PER FEMA 4470 NUMBER WIS 3025RV IN LETTER DATE: AUGUST 28, 2008.

CERTIFIED TO:

- KENNETH KEBRDLE
- WENDY KEBRDLE
- ALARION BANK (SADA/ATMA)
- ALL AMERICAN LAND TITLE INSURANCE AGENCY, LTD
- FIRST AMERICAN TITLE INSURANCE COMPANY

LAND DEVELOPMENT & TRANSPORTATION ENGINEERING
 PLANNING, SURVEYING & MAPPING
 5415 SOUTH SHORE
 SUITE 100
 OCALA, FLORIDA 34474
 PHONE 352.291.4930 FAX 352.291.4931
 WWW.DEWBERRY.COM

Geographic Information System No. LB 127

THIS SURVEY NOT VALID UNLESS EMBOSSED WITH THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

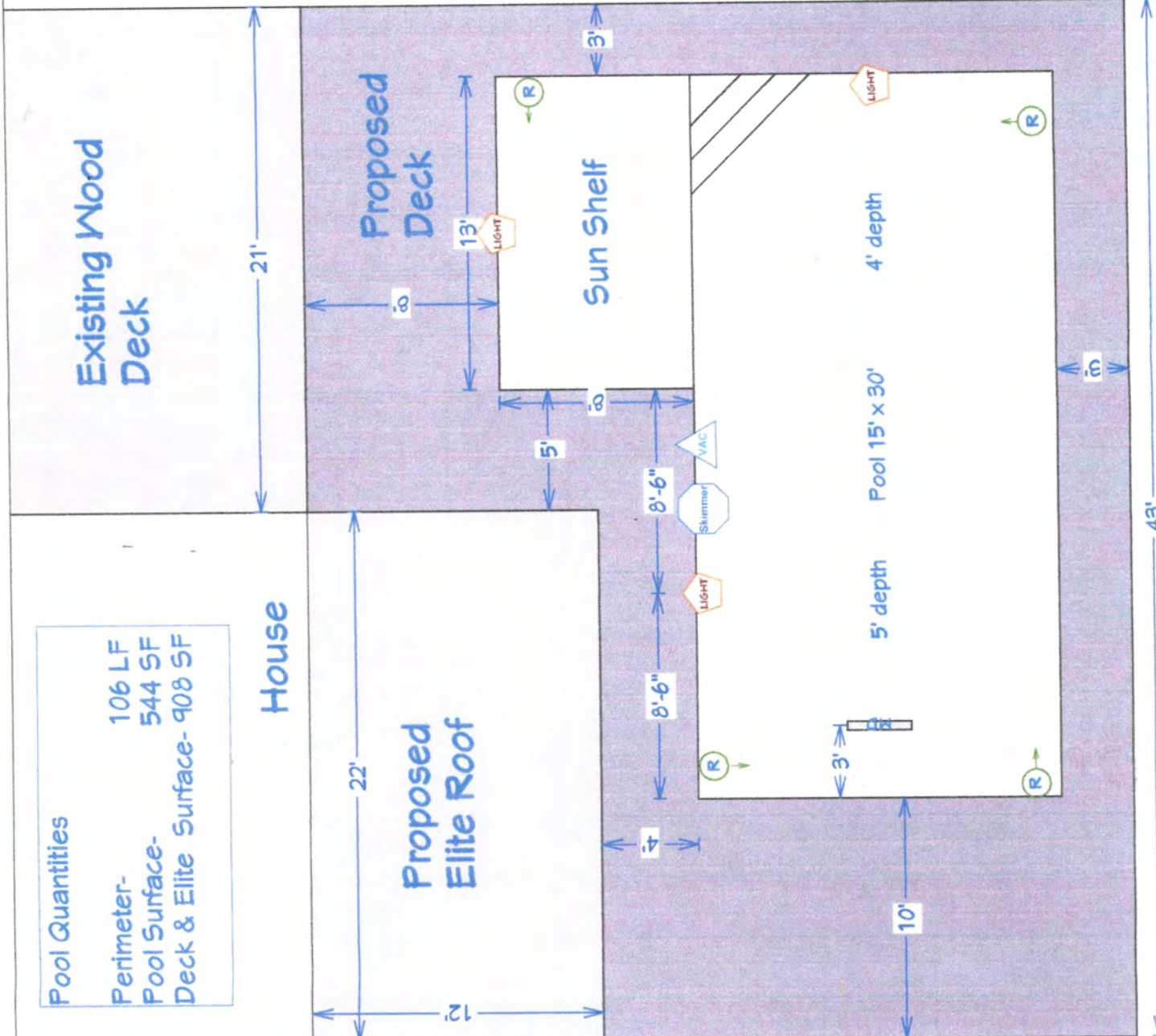
Manoel J. Ribeiro
 Manoel J. Ribeiro
 FLORIDA LAND SURVEYOR
 REGISTRATION NO. 5633

REVISION	DATE	BOOK

BOUNDARY SURVEY 08/25/14 OCAA/1

Survey / plot plan

NO.	DESCRIPTION	BY	DATE



Pool Quantities

Perimeter-	106 LF
Pool Surface-	544 SF
Deck & Elite Surface-	908 SF



34' (Total width)

43' (Total length)



REV DATE
 KE RSTO
 PROJ NO
 DRAWING
 MCM
 CWD BY
 JJK 01-Jan-21 21-Dec-20
 DESCRIPTION
 FOR RESIDENTIAL POOL/SPA
 TYPICAL PLAN & SECTIONS
 BY: PRESTIGE POOL CONSTRUCTORS, INC.
 FOR USE IN: THE CITY OF OCALA
 3990 SR 54 E
 Bradenton, FL 34208
 Office: 941-749-0311
 C.A. 27189
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EXPRESSES 06/10/2022

SHEET
S1
 SHEET 1 OF 2

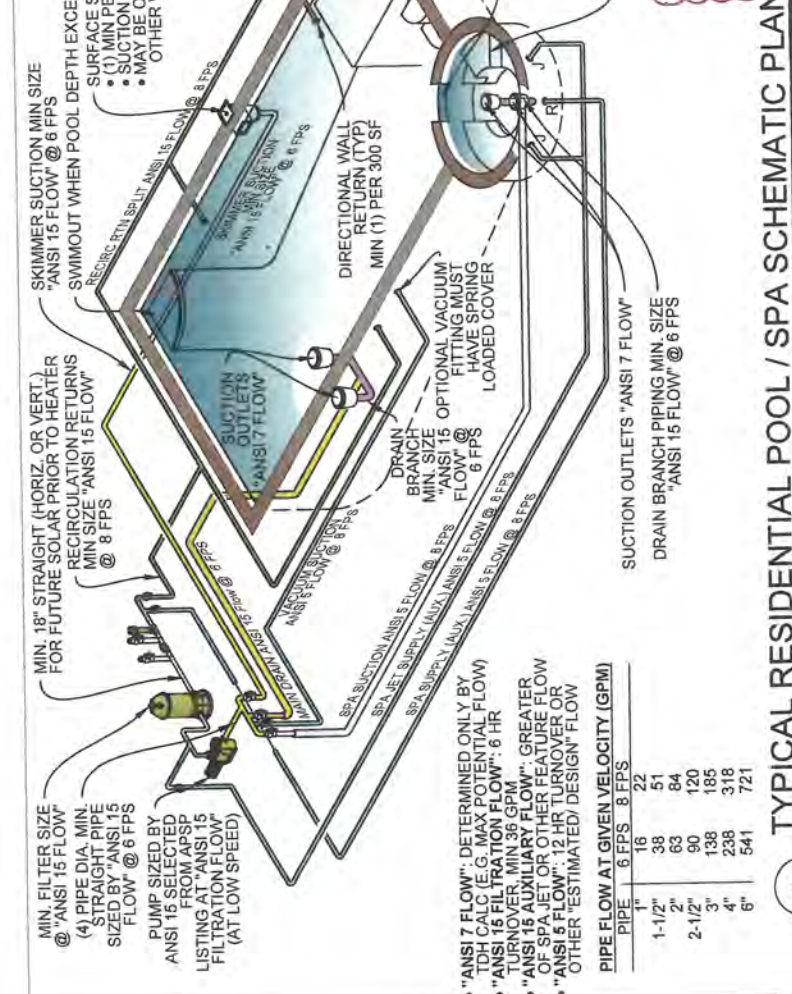
NOTES:

- THIS PLAN IS SCHEMATIC & PIPING SHALL BE CONNECTED TO PROVIDE A FUNCTIONING SYSTEM.
- POOL PIPING SHALL HOLD A STATIC WATER OR AIR PRESSURE TO NOT LESS THAN 35 PSI FOR 15 MINUTES, PER 4501.12.1
- POOLS SHALL HAVE PUMPS SELECTED TO PROVIDE MINIMUM 12 HR TURNOVER & MAXIMUM PIPE SIZING FROM ATTACHED DETERMINATION SHEETS
- SPACED WORK SHEETS
- DRAIN MAINS SHALL HAVE A MINIMUM SEPARATION OF 3 FT UNLESS ONE IS LOCATED ON A VERTICAL WALL OR A SINGLE UNLOCKABLE DRAIN IS USED
- ALL SUCTION COVERS SHALL MEET ANS/APSP/ICC-16 2017
- ALL PIPING SHALL BE NSF-PW APPROVED & MEET THE REQUIREMENTS OF 7TH ED. (2020) FBC
- ELECTRICAL EQUIPMENT, WIRING, & INSTALLATION SHALL CONFORM TO THE NFPA 70-2017 EDITION.
- BONDING OF POOL STEEL & LIGHT TO FOOTING STEEL SHALL BE CONTINUED TO & INCLUDE ALL PUMPS & HEATERS.
- TEMPORARY FENCING SHALL BE INSTALLED & MAINTAINED UNTIL PERMANENT CHILD SAFETY FEATURES ARE INSTALLED.
- THERE SHALL BE A PASSING ELECTRICAL & CHILD SAFETY FINAL INSPECTION PRIOR TO FILLING THE POOL OR SPA WITH WATER.
- POOL SHALL MEET THE APPLICABLE CRITERIA IN ANS/APSP 3.4, 5.6 & 5. STANDARDS ADOPTED IN 7TH ED. (2020) FBC
- REGARDLESS OF THE CRITERIA HERE THE PROJECT SHALL COMPLY WITH ALL SECTIONS OF THE 2020 FBC - PLUMBING & BUILDING MECHANICAL, PLUMBING & GAS CODES, AS APPLICABLE RESPECTIVELY & AMENDED.
- SEE INFORMATION ATTACHED TO THIS PERMIT PACKAGE FOR SITE SPECIFIC DETAILS SHOWING ANS 7 & 15 AND FBC COMPLIANCE

NOTE TO REVIEWER:
 DETAILED TDH CALCULATIONS ARE REQUIRED TO DETERMINE ANS 7-SUCTION ENTRAPMENT COMPLIANCE

COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES

- PIPE SIZE CRITERIA (FPS)
 Pressure Suction
 ANS 5 8
 ANS 15 6
- SKIMMER SUCTION MIN SIZE "ANSI 15 FLOW" @ 6 FPS
 SWIMMING WHEN POOL DEPTH EXCEEDS 5 FT SURFACE SKIMMER
 (1) MIN PER 800 SF
 SUCTION MIN SIZE "NEGATIVE EDGE" OR OTHER WEIR USED
- #8 AWG SOLID COPPER BOND WIRE AROUND POOL / SPA 4"-6" BELOW SHELL & BONDED @ (4) POINTS MIN TO POOL MEANS' NEC 660.28(B)(2)(b) INSTALL AFTER BACKFILL & COMPACTION
- SUN SHELF AS TOP STEP MAX 12" DECK TO SHELF
- SEE ANS 5 FOR STEP REQUIREMENTS - MIN 240 SQ IN, MAX 12" RISERS TO 4 FT WD
- NOTE: CONT. #3 STEEL OF SPA BEAM VERTICALLY DOWN & UNDER THE ELEVATION OF THE SPA WEIR
- IF NO WEIR OVERFLOW TO POOL A SKIMMER MUST BE USED IN SPA STEP REQ ON SPA BENCH UNLESS RAISED 12" OR MORE FROM DECK
- DIGITAL SIGNATURE INDEX SHEET FOR SHTS S1 S2 PER RULE 61G15-23.001(4)(b), F.A.C.

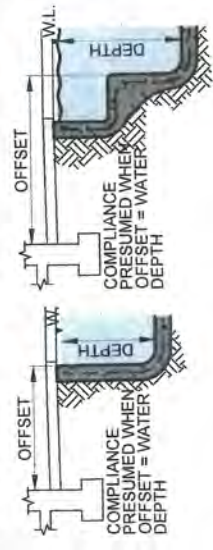


1 TYPICAL RESIDENTIAL POOL / SPA SCHEMATIC PLAN

SCALE: N.T.S.

FBC NO LONGER REQUIRES EXCAVATIONS OUT OF THE "ANGLE OF REPOSE PLUS 1 FT". THE CURRENT REQUIREMENT IN 7TH ED (2020) FBC, SECTION 1804.1 STATES THAT "EXCAVATIONS SHALL NOT REMOVE VERTICAL OR LATERAL SUPPORT FROM ANY FOUNDATION." THEREFORE THE FOLLOWING IS REQUIRED:

1. WHEN THE POOL DECK DISTANCE IS EQUAL TO OR GREATER THAN WATER DEPTH, NO MITIGATION OF THE SHELL STRUCTURE IS REQUIRED, AND NO SHORING OR FOUNDATION SUPPORT INITIALLY REQUIRED.
2. WHEN THE POOL DECK DISTANCE IS LESS THAN THE WATER DEPTH, THE ENGINEER SHALL PROVIDE A MITIGATION SPECIFICATION, EITHER TO PROTECT THE FOUNDATION DURING EXCAVATION OR STRENGTHEN THE SHELL FROM STRUCTURE LOADS.
3. IF DURING EXCAVATION, SOIL CONDITIONS APPEAR TO LEAD TO LOSS OF FOUNDATION SUPPORT, THE CONTRACTOR SHALL CEASE EXCAVATION AND CONTACT THE ENGINEER FOR MITIGATION SPECIFICATIONS.
4. IF AFTER EXCAVATION THE CONTRACTOR OR INSPECTOR FIND A LOSS OR THREATENED LOSS OF SOIL SUPPORT AT THE FOUNDATION, CONTACT THE ENGINEER FOR A MITIGATION SPECIFICATION.



"ANGLE OF REPOSE" OR SEE CONTRACTOR PLAN

2 PROXIMITY TO STRUCTURE

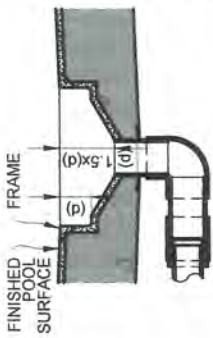
SCALE: N.T.S.

SEE DIGITAL SIGNATURE ON INDEX SHT SI



NOTES:
 APPROVED PRODUCT SPECIFICATION MAY DIFFER FROM FIELD BUILT SUMPS SHOWN ON THIS PAGE

ADDITIONAL STRUCTURAL NOTES:
 • USE MINIMUM ASTM A815 GRADE 40 STEEL
 • LAP #3 BARS MINIMUM 15"
 • LAP #5 BARS MINIMUM 25"
 • 6" SHELL THICKNESS AND 2-1/2" CONCRETE COVER ARE MINIMUMS
 • USE 4,000 PSI CONCRETE
 • CONTRACTOR/OWNER REQUIRED TO:
 • PLACED ON UNDISTURBED AND DE-WATERED EARTH THAT CAN MEET 2,000 PSF BEARING CAPACITY.
 • WHEN BURIED, BENCH IS STATIONABLE ENCOUNTERED, AS REQUESTED AT THE WORK SITE PRIOR TO DURING CONSTRUCTION, A SURFACE CONSULTANT SHALL CONDUCT BORINGS IN THE AREA OF THE POOL TO CONFIRM SOIL BEARING CAPACITY, CLEAR OF BURIED DEBRIS, & VERIFYING GROUND WATER LEVEL UNDER RESPECTIVE POOL AREA SHALL MEET A SOIL DENSITY AND COMPACTION MINIMUM OF 95% MODIFIED PROCTOR WITHOUT SETTLEMENT.



FINISHED POOL SURFACE
 FRAME
 SPECIFIED PVC PIPE SIZE (d)
 MIN. SUMP DEPTH (d)
 FOR FIELD BUILT SUMPS SEE PRODUCT INSTALLATION INSTRUCTIONS

DRAIN COVERS & SUMPS a.k.a. SUCTION OUTLET FITTING ASSEMBLIES (SOFA)

- FOLLOW ANS/APSP/ICC-16 2017 AND/OR INSTALLATION INSTRUCTIONS FOR MIN. MAX. SUMP DIMENSIONS, DRAIN COVER, GATE, AND FRAME FASTENING MEETING MFG'S SOFA CERTIFICATION. **DO NOT USE POWER TOOLS TO INSTALL FASTENERS.**
- FIELD MODIFICATIONS TO ANY SOFA NOT AUTHORIZED BY MFG. INSTALLATION INSTRUCTIONS SHALL VOID THE SOFA CERTIFICATION.
- HAND CHECK COVER/GATE, SNUGNESS OF SOFA FRAME AS IT RELATES TO PLACE BY INTERIOR FINISH OF THE POOL SHALL BE FREE OF DETERIORATION AND VOIDS

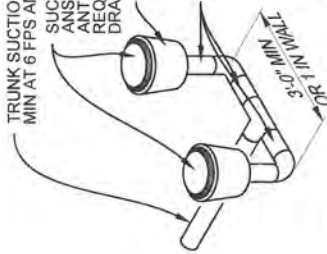
2 FIELD BUILT SUMP
 SCALE: N.T.S.

TRUNK SUCTION PIPE SIZE
 MIN AT 6 FPS ANSI 15 FLOW
 SUCTION OUTLETS W/
 ANTI-ENTRAPMENT COVER (2)
 REQD OR (1) UNBLOCKABLE DRAIN

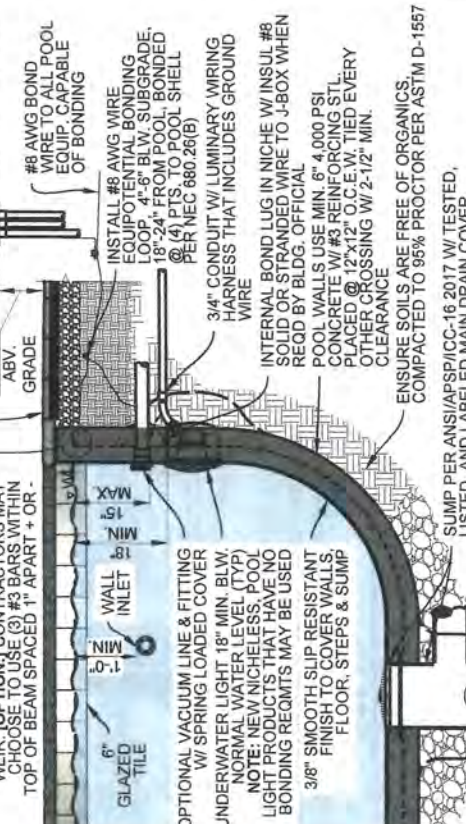
SUMP PER
 ANS/APSP/ICC-16 2017
 OR COVER MFR. SPECS
 ANSI 15 BRANCH PIPE SIZE
 MIN AT 6 FPS AT FLOW BY:
 • MAX 6 HOUR TURNOVER

MAIN DRAINS MAY BE OMITTED ENTIRELY

4 BRANCH PIPING
 SCALE: N.T.S.



EXTERNAL BONDING LUG FROM "LISTED" J-BOX WHEN PROVIDED. BONDED WITHIN J-BOX.
 MIN. 4'-0" CLR.
 8" MIN ABV GRADE
 #6 AWG BOND WIRE TO ALL POOL EQUIP. CAPABLE OF BONDING
 INSTALL #8 AWG WIRE EQUIPOTENTIAL BONDING LOOP, 4'-6" BLW. SUBGRADE, 18"-24" FROM POOL, BONDED @ (4) PTS. TO POOL SHELL PER NEC 680.26(B)
 3/4" CONDUIT W/ LUMINARY WIRING HARNESS THAT INCLUDES GROUND WIRE
 INTERNAL BOND LUG IN NICHE W/ INSUL #8 SOLID OR STRANDED WIRE TO J-BOX WHEN REQD BY BLDG. OFFICIAL
 POOL WALLS USE MIN. 6" 4,000 PSI CONCRETE W/ #3 REINFORCING STL. PLACED @ 12" X 12" O.C. W. TIED EVERY OTHER CROSSING W/ 2-1/2" MIN. CLEARANCE
 ENSURE SOILS ARE FREE OF ORGANICS, COMPACTED TO 95% PROCTOR PER ASTM D-1557
 SUMP PER ANS/APSP/ICC-16 2017 W/ TESTED, LISTED, AND LABELED MAIN DRAIN COVER



OPTIONAL VACUUM LINE & FITTING W/ SPRING LOADED COVER
 UNDERWATER LIGHT 18" MIN. BLW. NORMAL WATER LEVEL (TYP)
 NOTE: NEW NICHELESS, POOL LIGHT PRODUCTS THAT HAVE NO BONDING REQMTS MAY BE USED
 3/8" SMOOTH SLIP RESISTANT FINISH TO COVER WALLS, FLOOR, STEPS & SUMP
 CRUSHED SHELL OR GRAVEL FOR DEWATERING
 MAIN DRAIN TO PUMP
 HYDROSTATIC RELIEF DEVICE
 HYDROSTATIC RELIEF MAY BE A DEADLINE OR PLUG IN SLOTTED PIPE IN BOTTOM OF SUMP

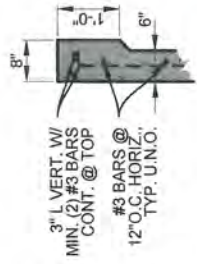
1 POOL DEEP END SECTION
 SCALE: N.T.S.



MIN 12" MAY VARY
 BENCH OR OTHER METHOD REQUIRED WHEN WATER DEPTH EXCEEDS 5 FT
 THIS DETAIL COMPLIES WITH BOTH 7TH ED. (2020) FBC CHAPTER 454.2.1, 18 & ANS/APSP/ICC-5 2011 & ICC-5 2011 & RELATED REQUIREMENTS STATED IN THOSE CODES.
 5 FT WD
 READ GREATER THAN
 MAX 20"
 MIN. 6" CONCRETE SHELL & STEEL ACCORDING TO STANDARD SPECIFICATIONS
 SHOOT TO UNDISTURBED EARTH
 PLACE FOOTING STRUCTURE ON UNDISTURBED EARTH MEETING 2,000 PSF OR COMPACTED FILL MEETING 95% MODIFIED PROCTOR

3 BENCH SECTION
 SCALE: N.T.S.

5 POOL BEAM 8"x12" OPTION
 SCALE: N.T.S.



3" L VERT W/ MIN (2) #3 BARS CONT. @ TOP
 #3 BARS @ 12" O.C. HORZ. TYP. UN.C.
 8"
 1'-0"
 6"

NOTE: THIS DETAIL IS FOR MAX 6 FT DEEP SOIL SUPPORTED POOL SHELLS- SEE SUPPLEMENTAL SPECIFICATIONS FOR DEEPER STRUCTURES, LOAD SURCHARGE STRUCTURES, OR APPURTENANT STRUCTURES

COMPLIES WITH 7TH ED. (2020) FBC, ALL VOLUMES

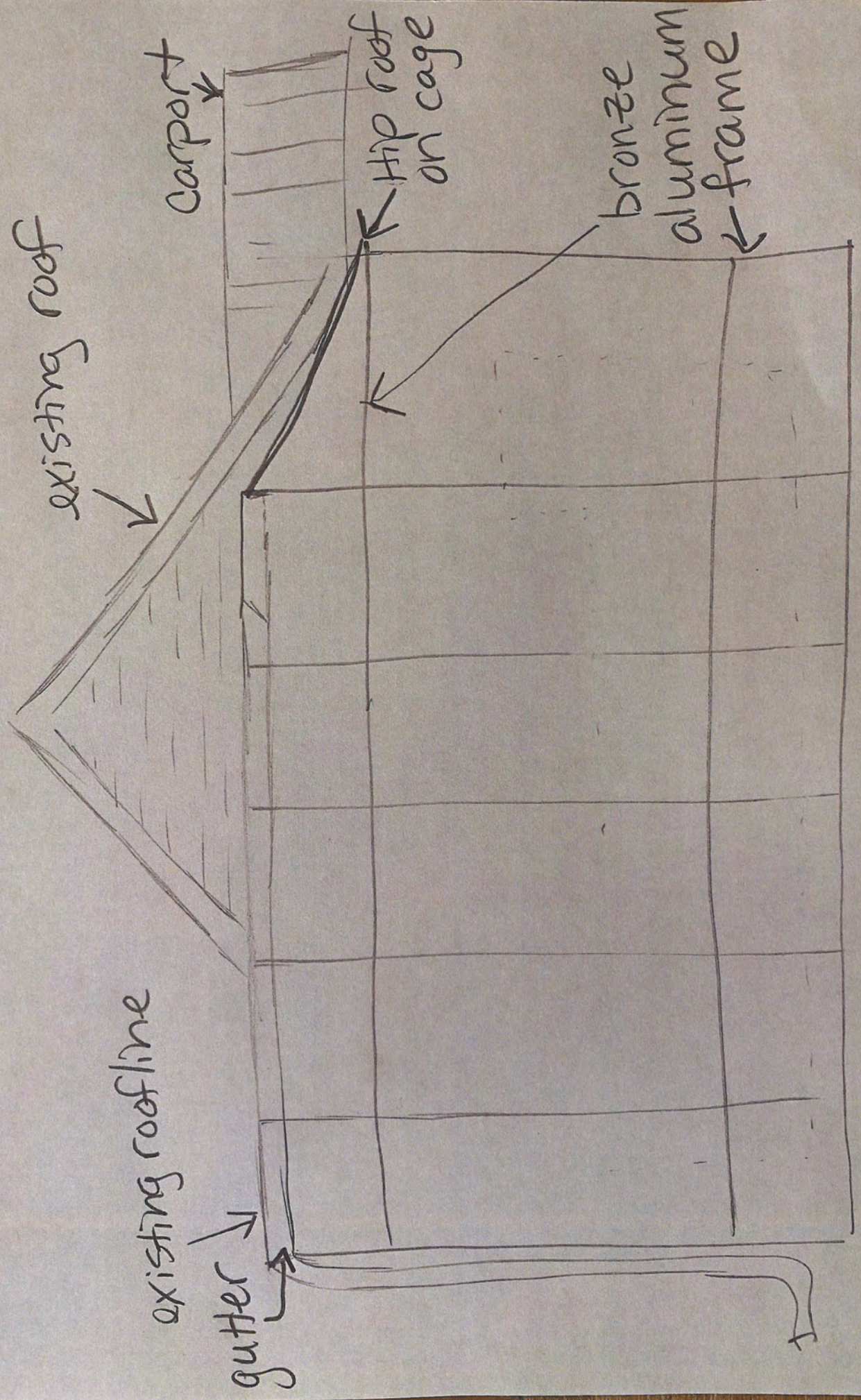
FOR USE IN THE CITY OF OCALA
 BY: RESTIGE POOL CONSTRUCTORS, INC.
 TYPICAL SECTIONS
 FOR RESIDENTIAL POOL/SPA

REV. DATE
 PROJ. NO. DWG. BY: MCM
 KE, RSTD
 DESCRIPTION
 DKG BY: JJK
 01-Jan-21
 VERSION: 21-Dec-20
 3900 SR 64 E
 Bradenton, FL 34208
 Office: 341-749-0311
 C.A. 27189
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SHEET
S2
 SHEET 2 OF 2

EXPIRES 06/10/2022

701 SE SANCHEZ AVE







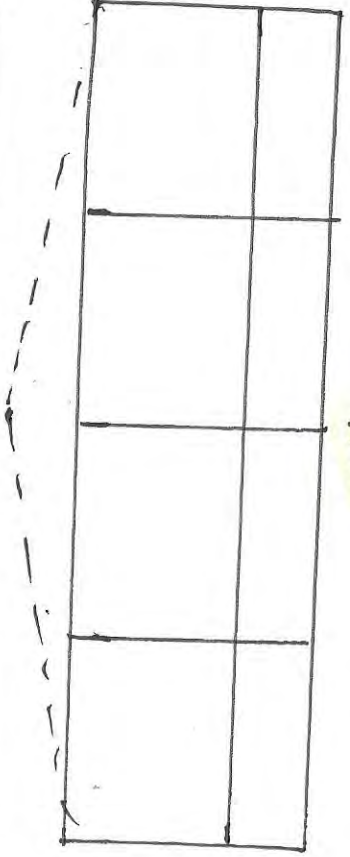
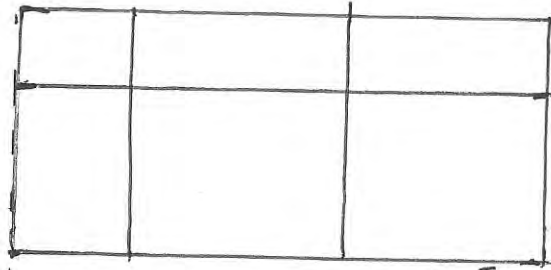
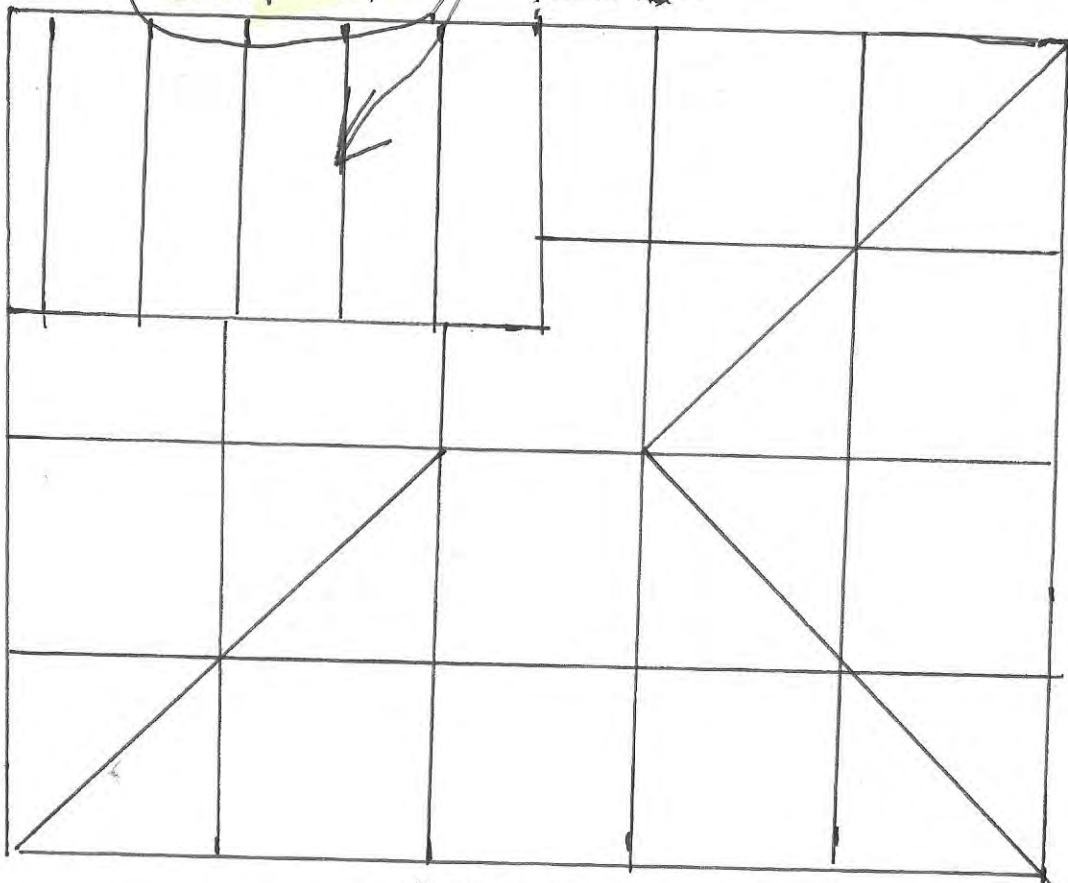
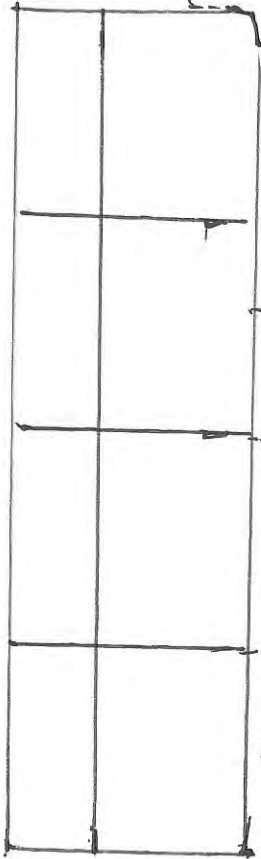
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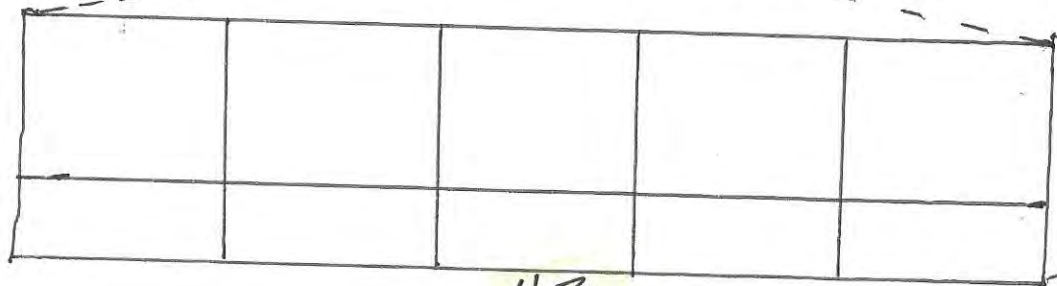
Kebrdle
JOB

1024
COMPOSIT

34'



34



10'

43